



**Town of Inglis
Planning Commission Meeting Agenda
Inglis Town Hall
December 2, 2025 @ 6:00 pm**

**ALL PERSONS DESIRING TO ADDRESS THE PLANNING COMMISSION WILL BE ASKED TO LIMIT
THEIR COMMENTS TO THE SPECIFIC SUBJECT BEING DISCUSSED AND WILL BE HELD TO ONE(1), THREE (3)
MINUTE TIME PERIOD PER AGENDA ITEM.**

**Prayer
Pledge of Allegiance**

**Roll Call:
Greta Larson, Scott Dumont, Mark Hodges,
David Waddel, Sue Sims.
Attorney Fugate**

Regular Planning Commission Agenda

1. 2 Garden Mall
2. Land Development Regulations

**Discussion
Adjourn**

Levy County, FL

Summary

ParcelID	0307300000
Location	2 GARDEN MALL CT
Address(es)	
Neighborhood	INGLIS 34449-
Legal Description*	WITH: RIVER W 19/98 (2001.03) 03-17-16 0002.70 ACRES TRACT IN N1/2 OF SE1/4 APPROX 420 FT ON RIVER OR BOOK 1545 PAGE 769 (Note: *The legal description shown here may be condensed, a full legal description should be obtained from a recorded deed for legal purposes.)
LandUse	SINGLE FAMILY R (0100)
SubdivisionName	N/A
Sec/Twp/Rng	03-17-16
Tax District	INGLIS (District IN)
Millage Rate	18.3281
Acreage	2.7
Homestead	Yes
Ag Classification	No

[View Map](#)

Owner

Owner Name	Cascaddan Steven Guy 100%
	Love Michel Elise 100%
Mailing Address	2 GARDEN CT
	INGLIS, FL 34449

Trim Notice

[Trim Notice \(PDF\)](#)

Estimate Taxes

[Estimate Taxes](#)

Valuation

		2025 Final Value
		Summary
Building Value		\$167,228
Extra Features Value		\$599
Market Land Value		\$255,780
Ag Land Value		\$255,780
Just (Market) Value		\$423,607
Assessed Value		\$423,607
Exempt Value		\$55,722
Taxable Value		\$367,885
Save Our Homes Benefit		\$0
Previous Year Value		\$423,607

Exemptions

Homestead	2nd Homestead	Widow/er	Disability	Seniors	Veterans	Other
25000	25722		5000			

Building Information

Building	1	Roof Cover	METAL
Actual Area	1700	Heating Type	FORCED AIR DUCTED
Conditioned Area	1008	Air Conditioning	CENTRAL
Actual Year Built	2022	Baths	1.5
Effective Year Built	2022		
Use	SINGLE FAMILY 1		
Exterior Wall	HARDIE BOARD		
Roof Structure	GABLE OR HIP		

Description	Conditioned Area	Actual Area
FINISHED OPEN PORCH	0	156
BASE	1008	1008
FINISHED SCREEN PORCH	0	280
FINISHED OPEN PORCH	0	156
PATIO	0	100
Total SqFt	1008	1700

Extra Features

Code Description	BLD	Length	Width	Height	Units
CONCRETE SLAB-A	1	12	35	0	420

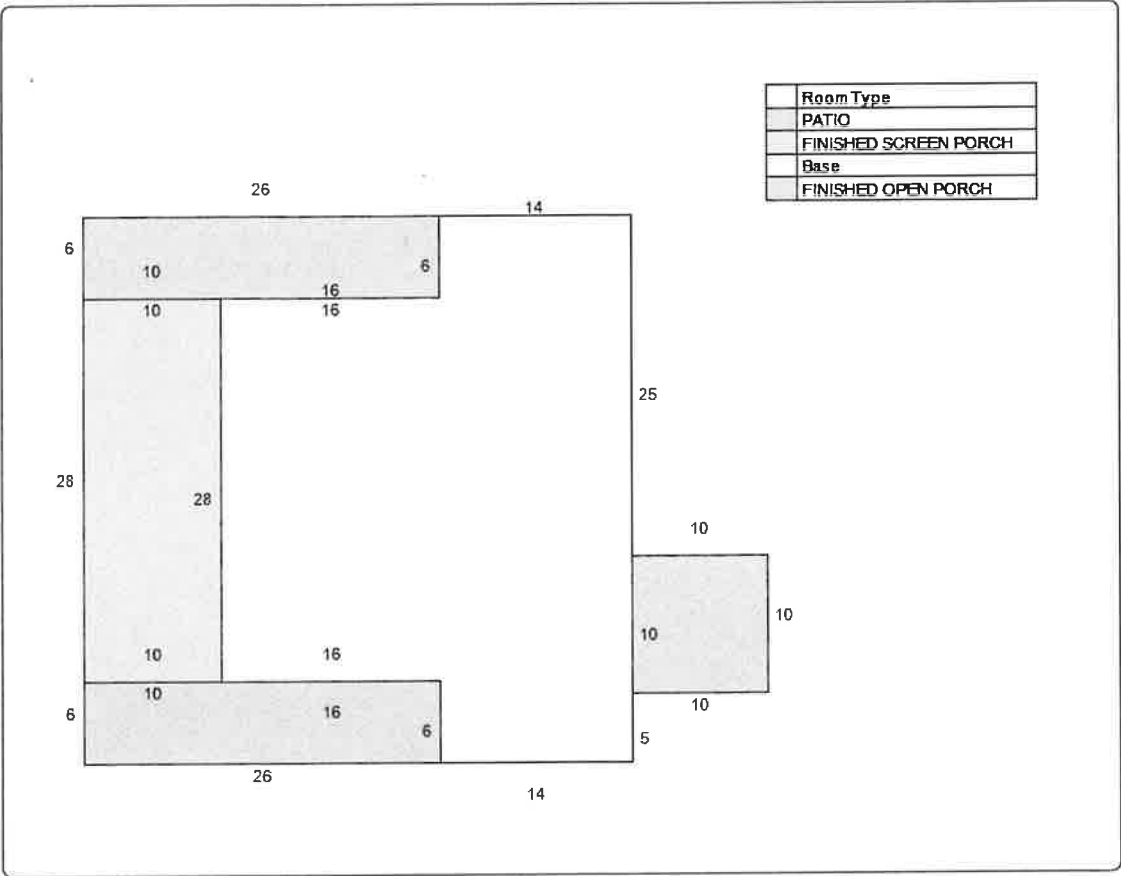
Land Line

Use Description	Front	Depth	Total Land Units	Unit Type	Land Value
Hse on Lot	1	0	420	FF	\$255,780

Sales

Sale Date	Sale Price	Instrument		Qualification	Vacant/Improved	Grantor	Grantee
		Type	Book Page				
7/30/2020	\$100.00	QD	<u>1545</u> <u>769</u>	U	V	CASCADDAN STEVEN GUY	CASCADDAN GUY
6/18/2019	\$300,000.00	WD	<u>1498</u> <u>24</u>	Q	V	ROWLAND GARY C -TRUSTEE-	CASCADDAN STEVEN GUY
8/30/2016	\$100.00	WD	<u>1398</u> <u>349</u>	U	V	ROWLAND GARY C & SANDRA R	ROWLAND GARY C -TRUSTEE-
9/3/2013	\$180,000.00	WD	<u>1301</u> <u>861</u>	Q	V	JUNIORS LANDING LLC	ROWLAND GARY C & SANDRA R
6/7/2012	\$0.00	FJ	<u>1263</u> <u>862</u>	U	V	JIM BROWN INC & NAT BANK OF COMMERCE	JUNIORS LANDING LLC
7/14/2011	\$40,700.00	TD	<u>1237</u> <u>202</u>	U	V	JIM BROWN INC	JUNIORS LANDING LLC
11/1/2004	\$450,000.00	WD	<u>917</u> <u>435</u>	Q	I	STERCHI GEORGE L TRUSTEE	
11/1/1980	\$138,500.00	WD	<u>168</u> <u>145</u>	U	V		

Building Sketch



Map



No data available for the following modules: Application for Catastrophic Event Tax Refund, Photos.

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Last Data Upload: 11/24/2025, 7:33:17 PM

Contact Us

Developed by
SCHNEIDER
GEOSPATIAL

OWNER/BUILDER DISCLOSURE STATEMENT

8. I understand that I may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on my building who is not licensed must work under my direct supervision and must be employed by me. Which means that I must comply with laws requiring the withholding of federal income tax and social security contributions under the Federal Insurance Contributions Act (FICA) and must provide workers' compensation. OWNER INITIAL SC
9. I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern owner/builders as well as employers. I also understand that the construction must comply with all applicable laws, ordinances, building codes, and zoning regulations. OWNER INITIAL SC
10. I understand that I may obtain more information regarding my obligations as an employer from the Internal Revenue Service, the United States Small Business Administration, the Florida Department of Financial Services, and the Florida Department of Revenue. I also understand that I may contract the Florida Construction Industry Licensing Board at WWW.DBPR.COM for more information about licensed contractors. OWNER INITIAL SC
11. I am aware of, and consent to, an owner/builder building permit applied for in my name and understand that I am the party legally and financially responsible for the proposed construction activity at the following address: 2 Garden Mall Ct Inglis FL 34469 OWNER INITIAL SC
12. I agree to notify the Building Department immediately of any additions, deletion, or changes to any of the information that I have provided on this disclosure. OWNER INITIAL SC

Licensed contractors are regulated by laws designed to protect the public. If you contract with a person who does not have a license, the Construction Industry Licensing Board and Department of Business and Professional Regulations may be unable to assist you with any financial loss that you sustain as a result of a complaint. Your only remedy against an unlicensed contractor may be in civil court. It is also important for you to understand that if an unlicensed contractor or employee of an individual or firm is injured while working on your property, you may be held liable for damages. If you obtain an owner/builder permit and wish to hire a licensed contractor, you will be responsible for verifying whether the contractor is properly licensed and the status of the contractor's workers' compensation coverage.

This 5 Day of November Year 2025, I, the undersigned, have read the preceding and understand the responsibility of acting as my own contractor, and having been notified of the above Florida Statutes, will abide by the laws governing the municipality having jurisdiction and the State of Florida.

I further state that I have the knowledge and ability to do the work proposed and I assume full responsibility for familiarizing myself with all the municipality having jurisdiction codes and building regulations. In the event a building inspector requires corrections to be made, I will make such corrections and call for a re-inspection before proceeding. I understand the Building Department is not responsible for instructing me on what to do. I understand I may subject myself to code enforcement action by not requesting and obtaining Final Inspection Approval prior to engaging in the use of the proposed development.

STATE OF FLORIDA, COUNTY OF Levy

Steven Cascardan
SIGNATURE OF OWNER/BUILDER AND DATE

I HEREBY CERTIFY that on this day, before me on this 5 day of November 2025, an officer duly authorized in the State and County aforesaid to take acknowledgements, personally appeared Steven Cascardan who is personally known to me or who has produced Florida DL as identification and who did/did not take an oath.

Cery A. Logeman
NOTARY PUBLIC

Record and Return to:

File No: _____

Permit No: _____

Key No: _____

Tax Folio/Parcel ID: _____

Prepared by: _____

Address: _____





Town of Inglis

135 Hwy 40 W.
Inglis, FL 34449
(352) 447-2203 Ext. 105
Permits_zone@townofinglis.org

**ZONING APPROVAL
APPLICATION**

PURPOSE: Carport Garage
APPLICANTS NAME: Steve Cascarda & Michel Love
MAILING ADDRESS: #2 Garden Mall Ct
ACTUAL LOCATION: Same
SIZE: 30 x 70 ELECTRIC (Y/N) Water (Y/N) Date: 11/3/25

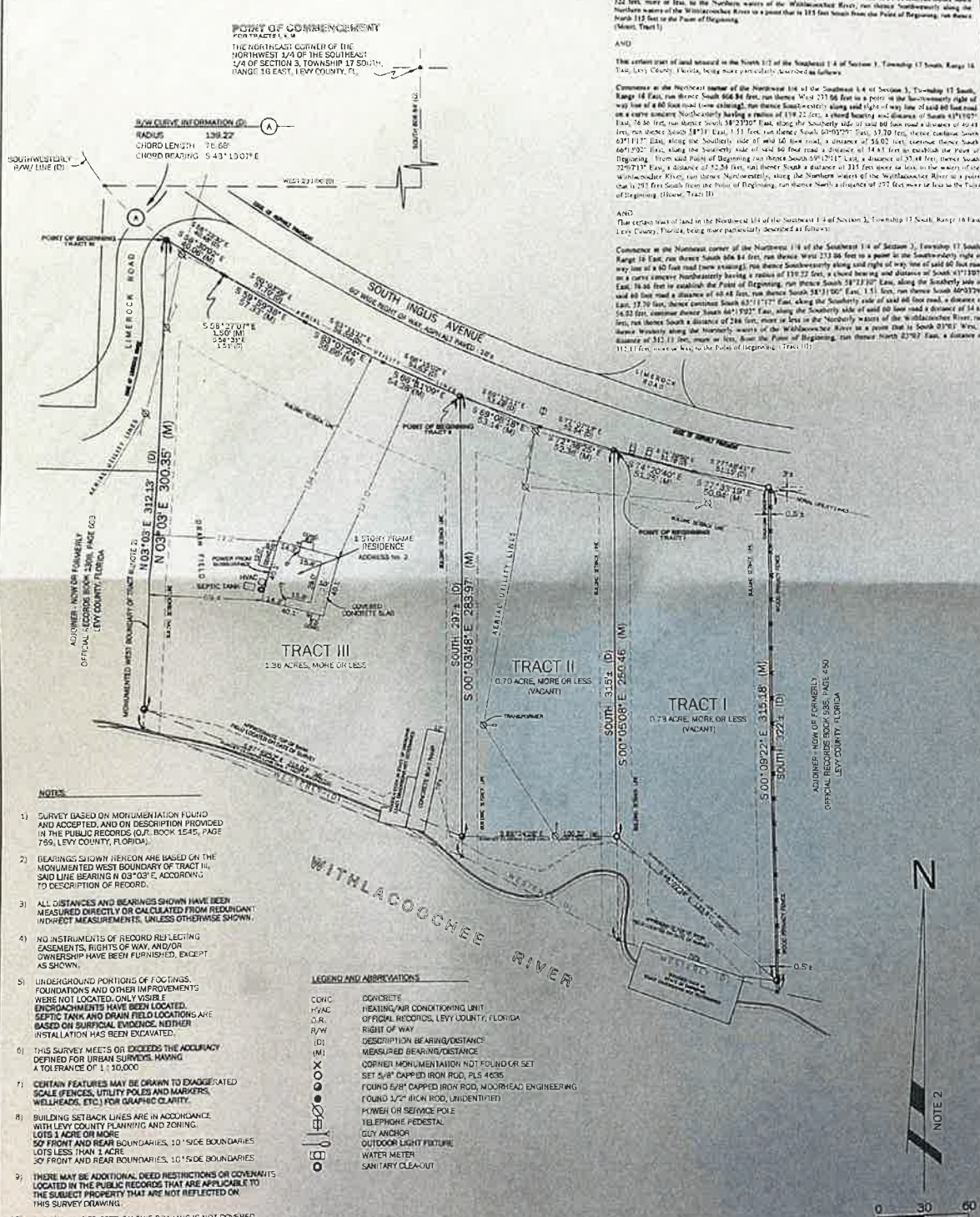
Applicant signature: Steve Cascarda, Michel Love
IF LOCATED IN A FLOOD ZONE, STRUCTURE MAY REQUIRE PROPER FLOOD PROOFING. ALL STRUCTURES SHOULD BE TIED DOWN BY ANY ACCEPTABLE ANCHORING SYSTEM.
ALL STRUCTURES SHALL BE INSPECTED BY THE TOWN BUILDING/ZONING OFFICIAL.
ELECTRICAL AND PLUMBING PERMITS WILL BE PERMITTED SEPARATELY.

Building & Zoning Department only

DATE RECEIVED _____	ZONED _____	PERMIT NUMBER _____
FLOOD ZONE: YES <input type="checkbox"/> NO <input type="checkbox"/>	TOTAL SQUARE FOOT _____	SITE PLAN COMPLETED: YES <input type="checkbox"/> NO <input type="checkbox"/>
FLOOD DISCLAIMER SIGNED: YES <input type="checkbox"/> NO <input type="checkbox"/>	INSPECTION INFORMATION DATE: _____	
ELEVATION CERTIFICATE ATTACHED: YES <input type="checkbox"/> NO <input type="checkbox"/>	APPROVE: _____ DISAPPROVE: _____	
PARCEL NUMBER: _____	BUILDING/ZONING OFFICIAL: _____ DATE: _____	

Code Enforcement Officer _____ Date: _____

MAP TO SHOW A SURVEY OF AN UNRECORDED SUBDIVISION SITUATED IN THE NORTH 1/2 OF THE SOUTHEAST 1/4 OF SECTION 3, TOWNSHIP 17 SOUTH, RANGE 16 EAST, LEVY COUNTY, FLORIDA



- NOTES**
- 1) SURVEY BASED ON MONUMENTATION FOUND AND ACCEPTED, AND ON DESCRIPTION PROVIDED IN THE PUBLIC RECORDS (O.R. BOOK 1545, PAGE 759, LEVY COUNTY, FLORIDA).
 - 2) BEARINGS SHOWN HEREON ARE BASED ON THE MONUMENTED WEST BOUNDARY OF TRACT III, SAID LINE BEARING N 03°03' E, ACCORDING TO DESCRIPTION OF RECORD.
 - 3) ALL DISTANCES AND BEARINGS SHOWN HAVE BEEN MEASURED DIRECTLY OR CALCULATED FROM REDUNDANT INDIRECT MEASUREMENTS, UNLESS OTHERWISE SHOWN.
 - 4) NO INSTRUMENTS OF RECORD REFLECTING EASEMENTS, RIGHTS OF WAY, AND/OR OWNERSHIP HAVE BEEN FURNISHED, EXCEPT AS SHOWN.
 - 5) UNDERGROUND PORTIONS OF FOOTINGS, FOUNDATIONS AND OTHER IMPROVEMENTS WERE NOT LOCATED. ONLY VISIBLE ENCROACHMENTS HAVE BEEN LOCATED. SEPTIC TANK AND DRAIN FIELD LOCATIONS ARE BASED ON SURFICIAL EVIDENCE. NOTHING INSTALLATION HAS BEEN EXCAVATED.
 - 6) THIS SURVEY MEETS OR EXCEEDS THE ACCURACY DEFINED FOR URBAN SURVEYS HAVING A TOLERANCE OF 1:10,000.
 - 7) CERTAIN FEATURES MAY BE DRAWN TO ENHANCED SCALE, FENCES, UTILITY POLES AND MARKERS, WELLHEADS, ETC.) FOR GRAPHIC CLARITY.
 - 8) BUILDING SETBACK LINES ARE IN ACCORDANCE WITH LEVY COUNTY PLANNING AND ZONING. LOTS 1 ACRE OR MORE, 50' FRONT AND REAR BOUNDARIES, 10' SIDE BOUNDARIES, LOTS LESS THAN 1 ACRE, 30' FRONT AND REAR BOUNDARIES, 10' SIDE BOUNDARIES.
 - 9) THERE MAY BE ADDITIONAL DEED RESTRICTIONS OR COVENANTS LOCATED IN THE PUBLIC RECORDS THAT ARE APPLICABLE TO THE SUBJECT PROPERTY THAT ARE NOT REFLECTED ON THIS SURVEY DRAWING.
 - 10) THE SURVEY DEPICTED ON THIS DRAWING IS NOT COVERED BY PROFESSIONAL LIABILITY INSURANCE.

LEGEND AND ABBREVIATIONS

CONC.	CONCRETE
HVAC	HEATING/AIR CONDITIONING UNIT
O.R.	OFFICIAL RECORDS, LEVY COUNTY, FLORIDA
R/W	RIGHT OF WAY
(D)	DESCRIPTION BEARING/DISTANCE
(M)	MEASURED BEARING/DISTANCE
(C)	CORNER MONUMENTATION NOT FOUND OR SET
SET 5/8" CAPPED IRON ROD, PLS 4635	
FOUND 5/8" CAPPED IRON ROD, MOOREHEAD ENGINEERING	
FOUND 1/2" IRON ROD, UNIDENTIFIED	
POWER OR SERVICE POLE	
TELEPHONE PEDESTAL	
CLIP ANCHOR	
OUTDOOR LIGHT FIXTURE	
WATER METER	
SANITARY CLEAN-OUT	

FRANCIS L. HURT, FLORIDA REGISTERED SURVEYOR AND MAPPER No. 4635 CERTIFIED TO: Steven Guy Cassadon Farm Credit of Florida, ACA Levy Abstract and Title Company Commonwealth Land Title Insurance Company		PROJECT: 22010 DRAWN BY: FLH DATE DRAWN: 02/22/2022 FIELD BOOK: FH18/43	BOUNDARY SURVEY NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER	FRANCIS L. HURT Professional Land Surveyor And Mapper No. 4635 3355 N. Holiday Drive, Crystal River, Florida 34428 Phone/Fax: (352) 795-1853
THE LANDS DESCRIBED AND SHOWN ON THIS SURVEY LIE IN ZONE 14E121 AS SHOWN ON FIRM PANEL 043 OF 082, MAP No. 12075006430, COMMUNITY-PANEL No. 120586 0643 0				

ADD ZONE, STRUCTURE MAY BY ANY ACCEPTABLE AND...
 SURE SHALL BE INSPECTED...
 CAL AND PLUMBING PERM...

DATE RECEIVED _____
 FLOOR _____
 1
 19
 26

The certain tract of land situated in the North 1/2 of the Southeast 1/4 of Section 3, Township 17 South, Range 16 East, Levy County, Florida, being more particularly described as follows:

Commence at the Northeast corner of the Northeast 1/4 of the Southeast 1/4 of Section 3, Township 17 South, Range 16 East, run thence South 84 feet, run thence West 213.06 feet to a point in the Southwesterly right of way line of a 60 foot road (now existing); run thence Southwesterly along said right of way line of said 60 foot road on a curve (more particularly having a radius of 139.22 feet, a chord bearing and distance of South 43°11'07" East, 18.66 feet, run thence South 18°23'07" East, along the Southwesterly side of said 60 foot road a distance of 49.43 feet, run thence South 18°11'07" East, 1.51 feet, run thence South 40°12'27" East, 37.70 feet, thence continue South 40°12'27" East, along the Southwesterly side of said 60 foot road a distance of 16.43 feet, run thence South 60°17'11" East, along the Southwesterly side of said 60 foot road a distance of 52.34 feet to establish the Point of Beginning. From said Point of Beginning, run South 70°19'07" East, along the Southwesterly side of said 60 foot road a distance of 11.13 feet, run thence South 72°48'41" East, along the Southwesterly side of said 60 foot road a distance of 11.76 feet, run thence South 322 feet, more or less, to the Northern waters of the Withlacoochee River, run thence Southwesterly along the Northern waters of the Withlacoochee River to a point that is 115 feet South from the Point of Beginning, run thence North 115 feet to the Point of Beginning. (Mount, Tract I)

AND

The certain tract of land situated in the North 1/2 of the Southeast 1/4 of Section 3, Township 17 South, Range 16 East, Levy County, Florida, being more particularly described as follows:

Commence at the Northeast corner of the Northeast 1/4 of the Southeast 1/4 of Section 3, Township 17 South, Range 16 East, run thence South 84 feet, run thence West 213.06 feet to a point in the Southwesterly right of way line of a 60 foot road (now existing); run thence Southwesterly along said right of way line of said 60 foot road on a curve (more particularly having a radius of 139.22 feet, a chord bearing and distance of South 43°11'07" East, 18.66 feet, run thence South 18°23'07" East, along the Southwesterly side of said 60 foot road a distance of 49.43 feet, run thence South 18°11'07" East, 1.51 feet, run thence South 40°12'27" East, 37.70 feet, thence continue South 40°12'27" East, along the Southwesterly side of said 60 foot road a distance of 16.43 feet, run thence South 60°17'11" East, along the Southwesterly side of said 60 foot road a distance of 52.34 feet to establish the Point of Beginning. From said Point of Beginning, run South 70°19'07" East, along the Southwesterly side of said 60 foot road a distance of 11.13 feet, run thence South 72°48'41" East, along the Southwesterly side of said 60 foot road a distance of 11.76 feet, run thence South 322 feet, more or less, to the Northern waters of the Withlacoochee River, run thence Southwesterly along the Northern waters of the Withlacoochee River to a point that is 115 feet South from the Point of Beginning, run thence North 115 feet to the Point of Beginning. (Mount, Tract II)

AND

The certain tract of land situated in the North 1/2 of the Southeast 1/4 of Section 3, Township 17 South, Range 16 East, Levy County, Florida, being more particularly described as follows:

Commence at the Northeast corner of the Northeast 1/4 of the Southeast 1/4 of Section 3, Township 17 South, Range 16 East, run thence South 84 feet, run thence West 213.06 feet to a point in the Southwesterly right of way line of a 60 foot road (now existing); run thence Southwesterly along said right of way line of said 60 foot road on a curve (more particularly having a radius of 139.22 feet, a chord bearing and distance of South 43°11'07" East, 18.66 feet, run thence South 18°23'07" East, along the Southwesterly side of said 60 foot road a distance of 49.43 feet, run thence South 18°11'07" East, 1.51 feet, run thence South 40°12'27" East, 37.70 feet, thence continue South 40°12'27" East, along the Southwesterly side of said 60 foot road a distance of 16.43 feet, run thence South 60°17'11" East, along the Southwesterly side of said 60 foot road a distance of 52.34 feet to establish the Point of Beginning. From said Point of Beginning, run South 70°19'07" East, along the Southwesterly side of said 60 foot road a distance of 11.13 feet, run thence South 72°48'41" East, along the Southwesterly side of said 60 foot road a distance of 11.76 feet, run thence South 322 feet, more or less, to the Northern waters of the Withlacoochee River, run thence Southwesterly along the Northern waters of the Withlacoochee River to a point that is 115 feet South from the Point of Beginning, run thence North 115 feet to the Point of Beginning. (Mount, Tract III)

OPEN METAL BUILDING
30FT WIDE x 70FT LONG x 14FT EAVE HT.

1. 2023 FLORIDA BUILDING CODE (9TH EDITION)
2. 2021 INTERNATIONAL BUILDING CODE
3. ASCE 7-16: MINIMUM DESIGN LOADS ON BUILDINGS AND OTHER STRUCTURES
4. AISC STEEL CONSTRUCTION MANUAL, (15TH EDITION)
5. ACI 318-19: BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
6. MS 402-16: BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES
7. AWS D1.1: STRUCTURAL WELDING

1. MAXIMUM ROOF PITCH 4:12
2. AND SIDE WALL COLUMNS ARE IDENTICAL, U.N.O.
3. 24 GA. METAL PANELS SHALL BE FASTENED DIRECTLY TO 2.5" X 2.5" X 1/4" GA. TUBE STEEL (15S) FRAMING
4. CHANGING THE PANEL PITCH OR 24 GA. METAL PANELS SHALL BE FASTENED DIRECTLY TO 16 GA. 16" I BEAMS
5. FASTENER SPACING ALONG RAFTERS OR PURLINS, AND POSTS SHALL BE AS FOLLOWS: INTERIOR - 9" O.C. END - 6" O.C.
6. FASTENERS SHALL BE #12-14 X 3/4" SELF-DRILLING SCREWS (95S). USE CONTROL SEAL VASHER WITH EXTERIOR FASTENERS. APPLY ONE COAT OF METAL ROOF PAINT OF 20-40 OR LESS AND ROOF SLOPES OF 12:12 OR LESS TO BE PAINTED WITH TWO COATS OF METAL ROOF PAINT OF 20-40 OR LESS
7. EXTERIOR WALLS TO BE INSTALLED THROUGH THE BASE WALL WITHIN 6" OF EACH RAFTER COLUMN ALONG SIDES AND ENDS
8. STANDARD GROUND ANCHORS (SOIL NAILS) CONSISTING OF 30' LONG 1/4" REBAR WITH WELDED NUT MAY BE USED IN SUITABLE SOILS AND SOIL SPEEDS LESS THAN OR EQUAL TO 145 MPH.

DEAL LOAD	15 PSF
LIVE LOAD	20 PSF
NOMINAL WIND SPEED	108 MP

- | | |
|--------------------------|------|
| RISK CATEGORY | II |
| ENCLOSURE CLASSIFICATION | OPEN |
| OCCUPANCY CLASSIFICATION | S-2 |

SPACING SPECIFICATIONS									
RISK CATEGORY	WIND EXPOSURE CATEGORY	U/LT WIND SPEED (MPH)		NOMINAL WIND SPEED (MPH)		MAXIMUM RAFTER/ROW POST SPACING (FT)	FASTER SPACING		
		O.C. FOR RATES/PURLINS & POSTS (in)			INTERIOR		END		
I, II, III, or IV	B, C, or D	115-120		89-116		5	6	6	
		101-180		117-139		4	6	6	

NOTES:

1. PANELS APPLICABLE TO 26 OR 29 GA METAL PANELS FASTENED DIRECTLY TO 12 OR 14 GA STEEL UPRR ROOF FRAMES.

2. FASTENERS CONSIST OF #12-14, "X" METAL-ROBBLING SCREWS WITH CONTROL SESS. WASHER.

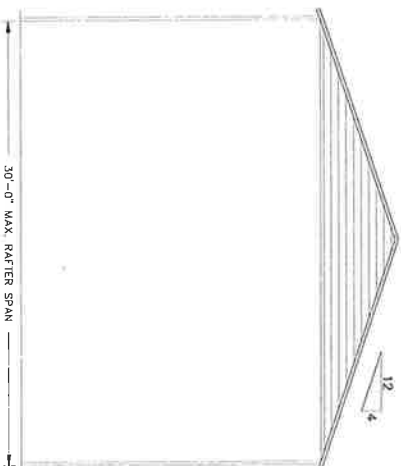
3. SPECIFICATIONS APPLICABLE TO ALL SLOPE ROOF HEIGHTS OF 20 FEET OR LESS, AND ROOF SLOPES OF 4:12 PITCH. SPACING REQUIREMENTS FOR OTHER ROOF HEIGHTS/SLOPES MAY VARY.

4. ALL REQUIREMENTS FOR THE CONSTRUCTION OF THE ROOF SHALL BE IN ACCORDANCE WITH BROWNS PAPER ROOF LOCATION, AT MINIMUM OF 10' O.C., AND BOTH SIDES OF OPENINGS WHERE BASED.

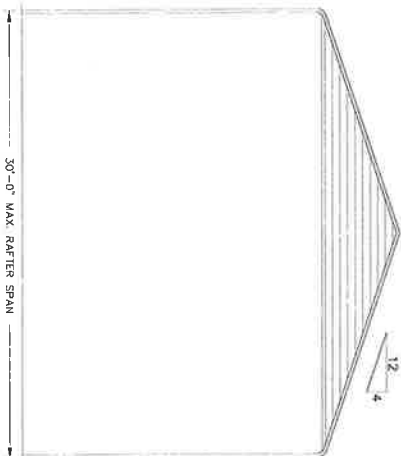
RAIL IS ABSENT.

GROUND ANCHORS ARE NOT REQUIRED WITH CONCRETE SLAB CONSTRUCTION.

MEMBER	PRODUCT APPROVAL NUMBER	MAX WIND DESIGN PRESSURES
ROOF PANELS	UL39466 / UL39466.2	+41.6 PSF / -31.2 PSF
WALL PANELS	UL39544 / UL39544.2	+55.4 PSF / -41.6 PSF
GLASS/CL DOOR	C/P	C/P
WALK-IN DOOR	C/P	C/P



TYPICAL ELEVATION - BOX EAVE



TYPICAL ELEVATION - BOW EAVE
SCALE: NTS

DRAWING INDEX	
SHEET NO.	DESCRIPTION
S1	GENERAL NOTES & SPECIFICATIONS
S2	BOX/BOW EAVE TYPICAL FRAMING SECTIONS
S3	CONNECTION DETAILS (1 OF 2)
S4	BASE RAIL & ANCHORAGE DETAILS
S5	END WALL, SPOE WALL, & OPENING TYPICAL FRAMING
S6	CONNECTION DETAILS (2 OF 2)
S7	BOX EAVE LEAN-TO OPTIONS
S8	FREE STANDING LEAN-TO OPTIONS
S9	VERTICAL ROOF-SIDING OPTION
S10	OPTIONAL CONCRETE STRIP FOOTING DETAILS
S11	OPTIONAL HELICAL ANCHORAGE DETAILS

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REVISIONS

COVINGTON ENGINEERING SERVICES

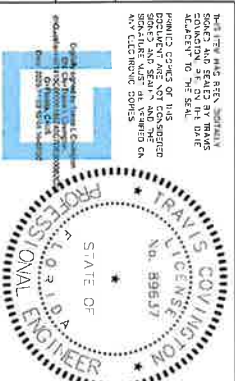
COVINGTON ENGINEERING SERVICES

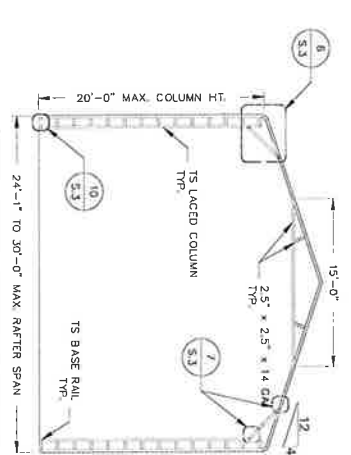
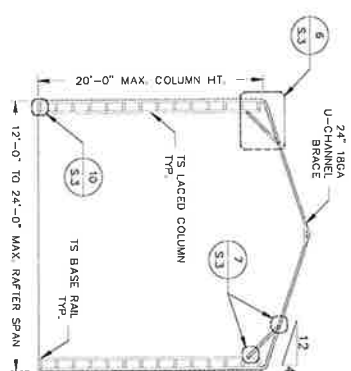
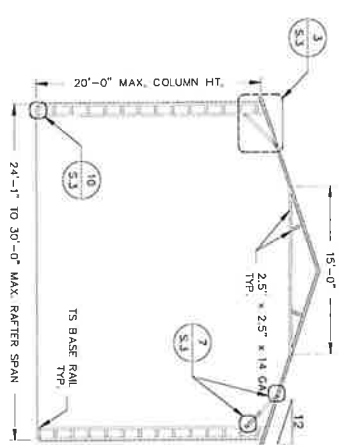
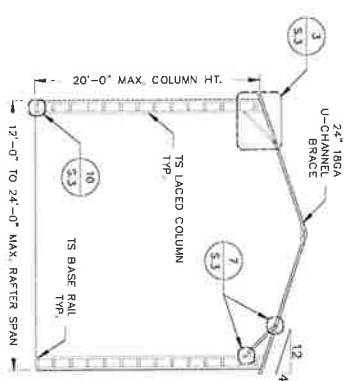
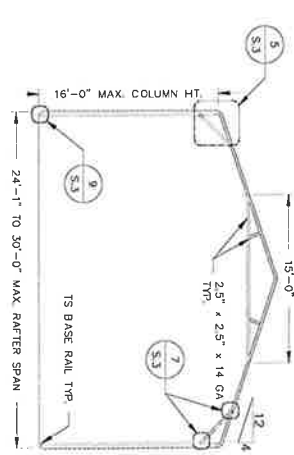
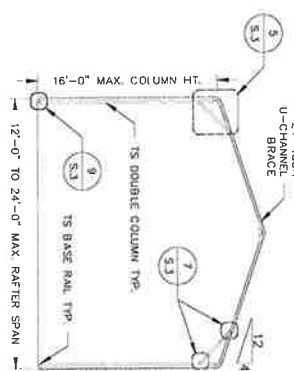
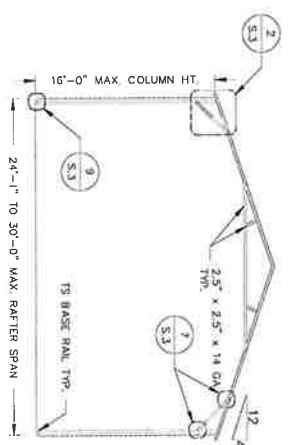
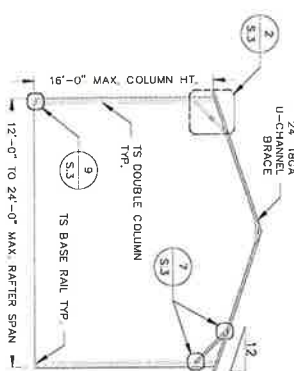
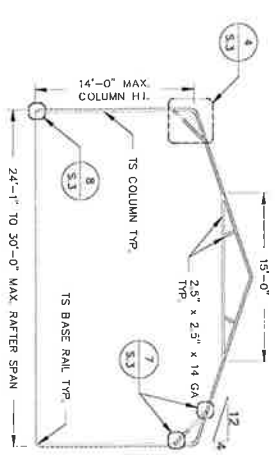
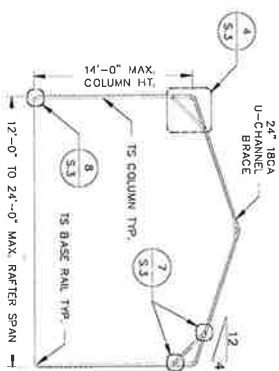
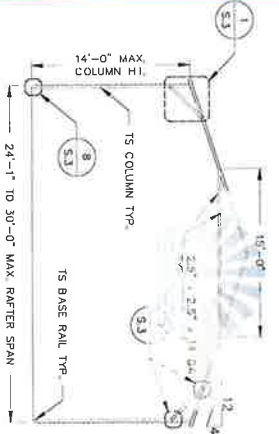
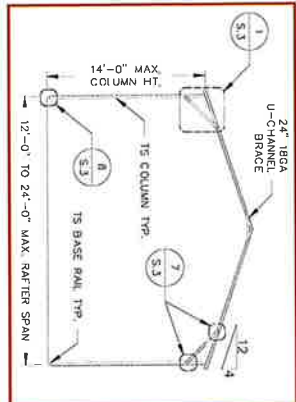
272 NW COUNTRY LAKE DR. LAKES CITY, FL 32055
 813.770.9470
 TRAVIS@COVINGTONENG.COM

PROJECT:	LOVE CARPORT
CLIENT:	MICHEL LOVE
LOCATION:	2 GARDEN HALL CT. INGLIS, FL
JOB NO.:	ET19

GENERAL NOTES & SPECIFICATIONS

GENERAL NOTES & SPECIFICATIONS	
SCALE:	SHEET NO:
AS NOTED	51

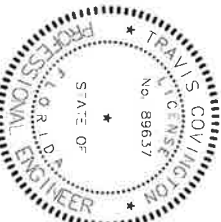




BOX EAVE FRAMING
SCALE: NTS

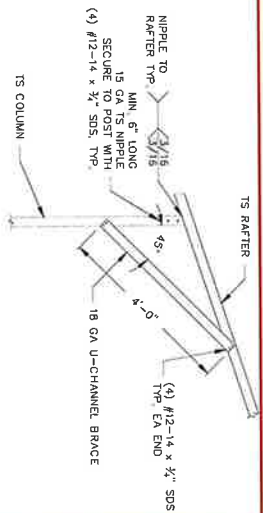
BOW EAVE FRAMING
SCALE: NTS

REVISIONS		PROJECT		BOX/BOW EAVE TYPICAL FRAMING SECTIONS	
NO.	DESCRIPTION	DATE	CLIENT	SCALE	SHEET NO.
1			LOVE CARPORT		
2			MICHEL LOVE		
3			2 GARDEN MALL CT. INGLIS, FL		
4			LOCATION: 2 GARDEN MALL CT. INGLIS, FL		
5			JOB NO: E118		
6			AS NOTED		
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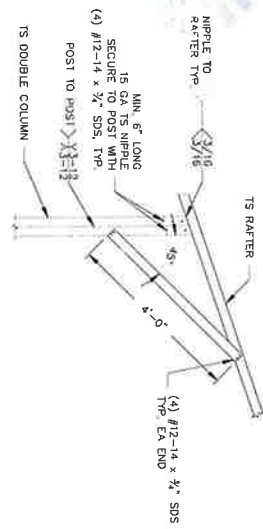


THIS DRAWING IS THE PROPERTY OF MICHEL LOVE. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED ON ANY ELECTRONIC COPIES. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING FROM MICHEL LOVE.

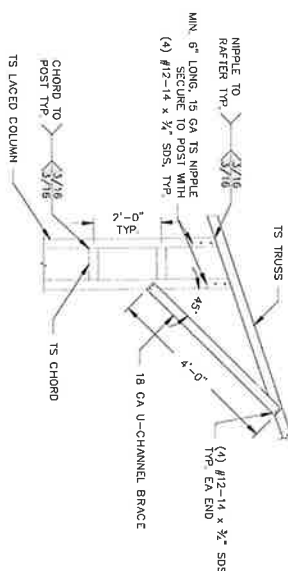
COVINGTON ENGINEERING SERVICES
272 NW COUNTRY LAKE DR. LAKE CITY, FL 32055
813.770.9470
TVA@COVENGINEERING.COM



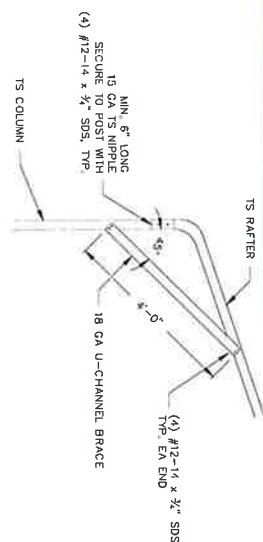
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MAX. 30' WIDTH, 14' EAVE HT
SCALE: NTS



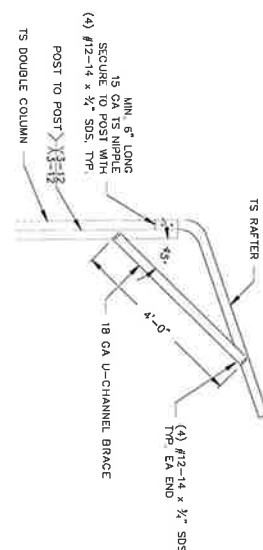
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MAX. 30' WIDTH, 16' EAVE HT
SCALE: NTS



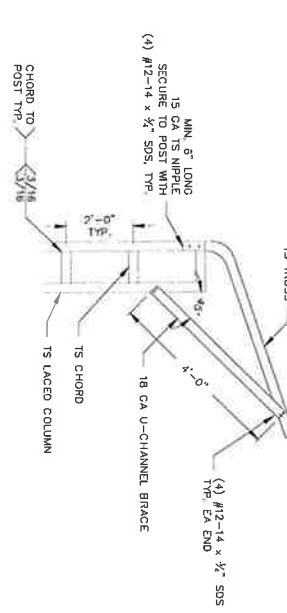
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SCALE: NTS



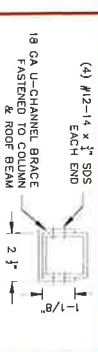
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MAX. 30' WIDTH, 14' EAVE HT
SCALE: NTS



5
MAX. 30' WIDTH, 16' EAVE HT
SCALE: NTS



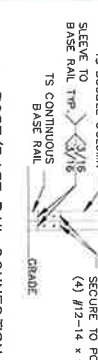
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MAX. 30' WIDTH, 20' EAVE HT
SCALE: NTS



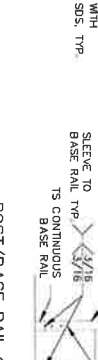
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SCALE: NTS



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SCALE: NTS

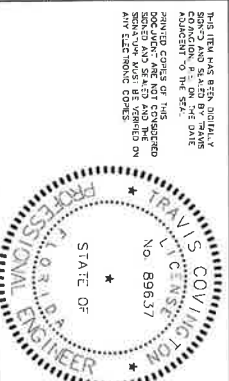


9
SCALE: NTS



10
SCALE: NTS

REVISIONS		PROJECT:		CONNECTION DETAILS (1 OF 2)	
NO.	DATE	CLIENT:	LOCATION:	SCALE:	SHEET NO:
	01-25-2024	LOVE CARPORT	2 GARDEN HALL C.T. INGLIS, FL	AS NOTED	S.3
		COVINGTON ENGINEERING SERVICES			
		272 NW COUNTRY LANE DR. LAKE CITY, FL 32055			
		813.770.9470			
		RVA@COVINGTONENGINEERING.COM			
		JOB NO: E118			



GENERAL NOTES

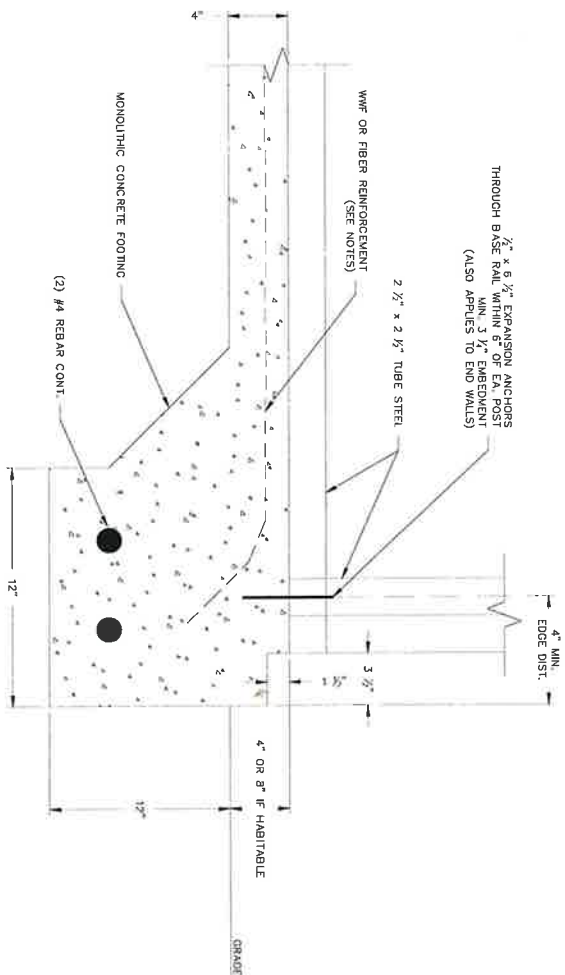
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2. CONCRETE STRENGTH: 3000 PSI @ 28 DAYS

REINFORCING STEEL NOTES

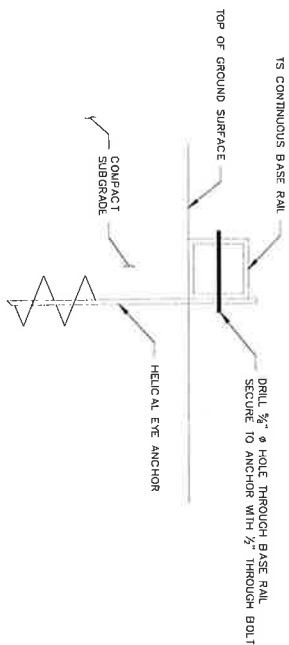
1. REBAR SHALL BE ASTM A615 GRADE 60
2. FIBER REINFORCEMENT SHALL BE WELDED WIRE FABRIC PER ASTM A185 OR FIBERGLASS
3. CONCRETE COVER SHALL BE 3" WHERE CONCRETE IS EXPOSED TO SOIL OR WATER, 2" EVERYWHERE ELSE
4. REINFORCEMENT SHALL BE PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT
5. REINFORCEMENT SHALL BE PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT

HELICAL ANCHOR NOTES

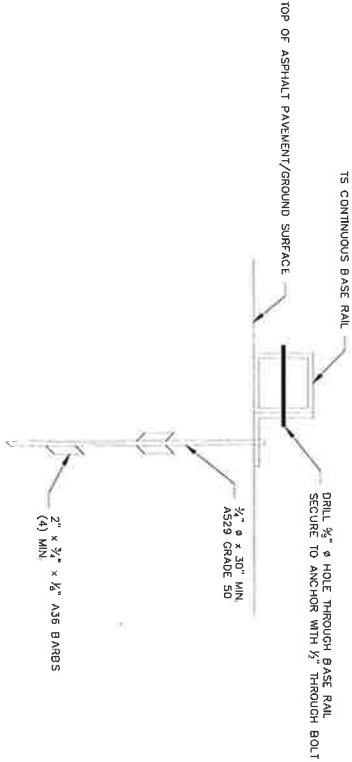
1. MINIMUM OF (2) 4" HELICES WITH 30" MIN. EMBEDMENT SHALL BE USED FOR THE FOLLOWING SOILS: VERY DENSE AND OR/OR CEMENTED SOILS, COARSE GRAVEL, AND COBBLES, CALCIC, PRELOADED SILT AND CLAYS, CORALS, MEDIUM DENSE SANDS, SANDY GRAVEL, AND SILT AND CLAYS
2. MINIMUM OF (2) 6" HELICES WITH 48" MIN. EMBEDMENT SHALL BE USED FOR THE FOLLOWING SOILS: LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS, AND ALLUVIAL FILL
3. MINIMUM OF (2) 8" HELICES WITH 60" MIN. EMBEDMENT SHALL BE USED FOR THE FOLLOWING SOILS: VERY LOOSE TO MEDIUM DENSE SANDS AND FIRM TO STIFF CLAYS AND SILTS



A
BASE RAIL ANCHORAGE
CONCRETE MONOLITHIC SLAB
SCALE: NTS



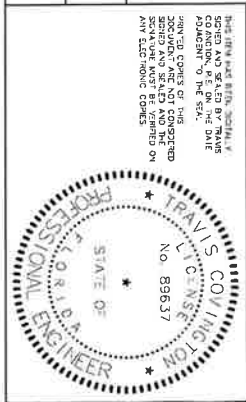
B
GROUND BASE HELICAL ANCHORAGE
SCALE: NTS

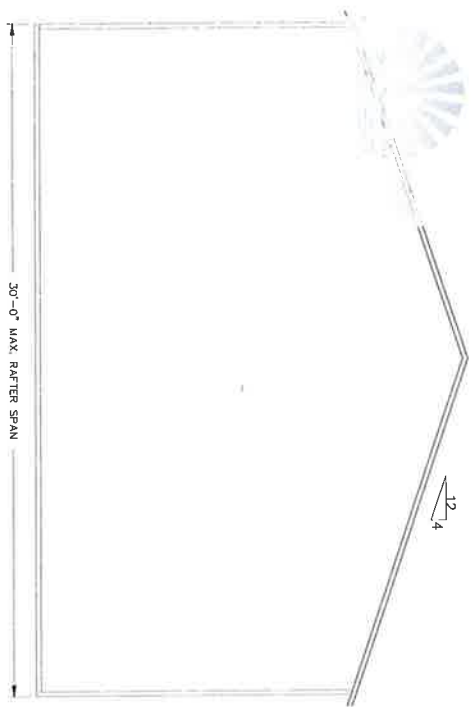


C
ASPHALT BASE ANCHORAGE
(HP9 BARBED DRIVE ANCHOR)
SCALE: NTS

REVISIONS		PROJECT:		BASE RAIL & ANCHORAGE DETAILS	
NO.	DATE	DESCRIPTION	DATE	CLIENT:	SCALE:
1				LOVE CARPORT	AS NOTED
2				MICHEL LOVE	
3				LOCATION: 2 GARDEN MALL CT. INGLIS, FL	
4				JOB NO: E118	
5					SHEET NO: 54
6					
7					
8					
9					
10					

COMINGTON ENGINEERING SERVICES
272 NW COUNTRY LAKE DR, LAKE CITY, FL 32055
813.770.9470
TRAVIS@COMINGTONENGINEERING.COM





TYPICAL BOX EAVE RAFTER END WALL FRAMING
SCALE: NTS

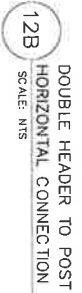



TYPICAL BOX EAVE RAFTER SIDE WALL FRAMING
SCALE: NTS

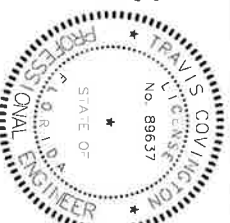
REVISIONS		PROJECT		END WALL, SIDE WALL, & OPENING TYPICAL FRAMING	
NO.	DESCRIPTION	DATE	PROJECT	CLIENT	SCALE:
			LOVE CARPORT	MICHEL LOVE	AS NOTED
			LOCATION:	2 GARDEN WALL CT. INQUI, FL	SHEET NO:
			JOB NO:	ET18	S.5
COVINGTON ENGINEERING SERVICES					
272 NW COUNTRY LAKE DR, LAKE CITY, FL 32055					
813.770.9470					
TRAVIS@COVINGENGINEERING.COM					

NOT FOR CONSTRUCTION
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TRAVIS COVINGTON
STATE OF FLORIDA
PROFESSIONAL ENGINEER
No. 89637

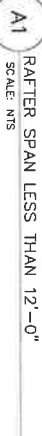


REVISIONS	
NO.	DATE
COVINGTON ENGINEERING SERVICES	
272 NW COUNTRY LAKE DR. LAKE CITY, FL 32055	
813.270.9470	
TRAVIS@COVING-ENGINEERING.COM	
PROJECT:	LOVE CARPORT
CLIENT:	MICHEL LOVE
LOCATION:	2 GARDEN HALL CT. INGLIS, FL
JOB NO.	ET18
CONNECTION DETAILS (2 OF 2)	
SCALE:	SHEET NO:
AS NOTED	S.5
	





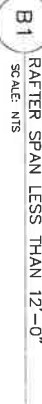
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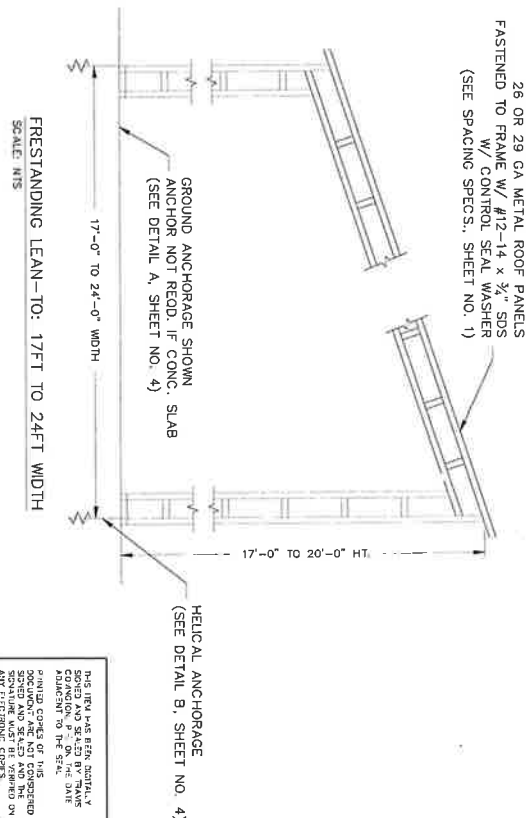
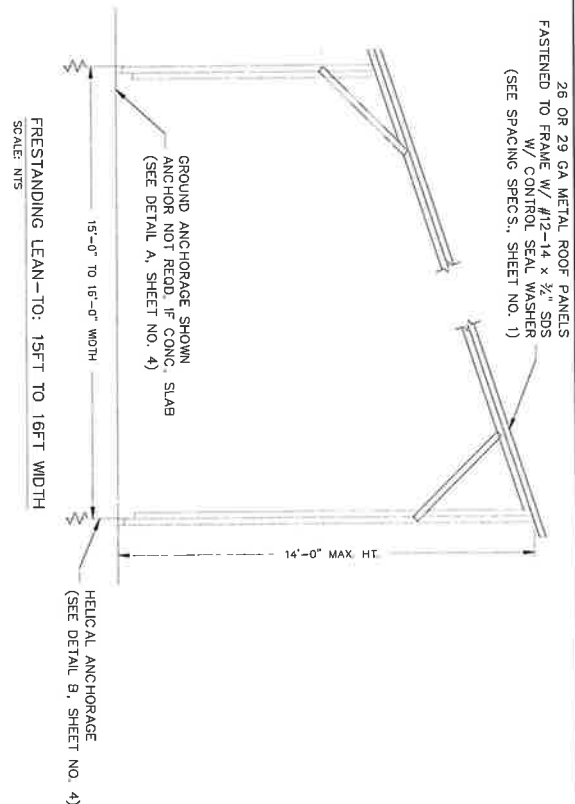


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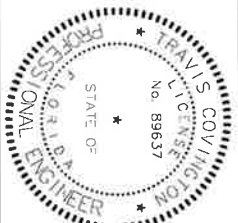


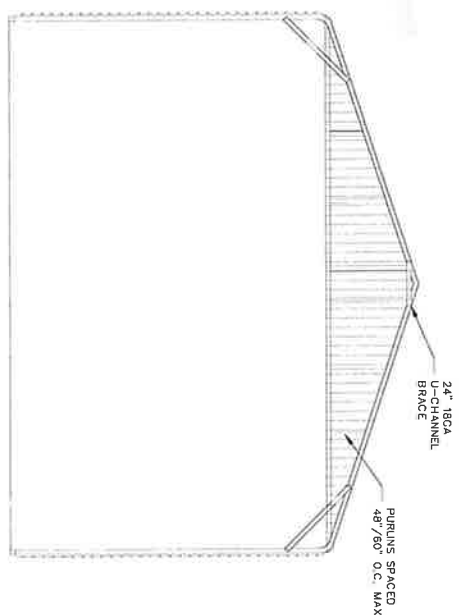
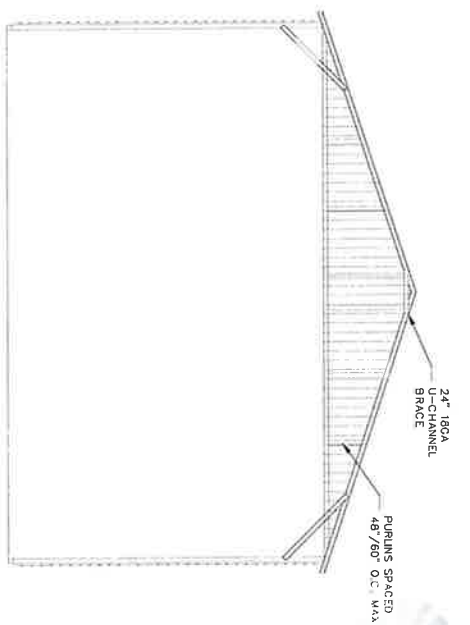
SCALE: NTS

REVISONS	
NO.	DATE
	08-25-2010
COVINGTON ENGINEERING SERVICES	
272 NW COUNTRY LAKE DR. LAKE CITY, FL 32055	
813.770.9470	
TRANS@COVINGTONENG.COM	
PROJECT:	LOVE CARPORT
CLIENT:	MICHEL LOVE
LOCATION:	2 GARDEN MALL CT., INDUS. FL
JOB NO.:	EL18
BOX EAVE LEAN-TO OPTIONS	
SCALE:	SHEET NO:
AS NOTED	S.7
	



REVISIONS		PROJECT: LOVE CAMPFORT		FREE STANDING LEAN-TO OPTIONS		STATE OF LOUISIANA PROFESSIONAL ENGINEER
NO.	DESC-REVISION	DATE	CLIENT: MICHEL LOVE			
			LOCATION: 2 GARDEN MALL CT, MOBILE, FL	SCALE: AS NOTED	SHEET NO: S 8	
			JOB NO: E118			
COVINGTON ENGINEERING SERVICES						
272 NW COUNTRY LAKE DR, LAKE CITY, FL 32055						
813 770 9470						
TRANSBICOENGINEERING.COM						



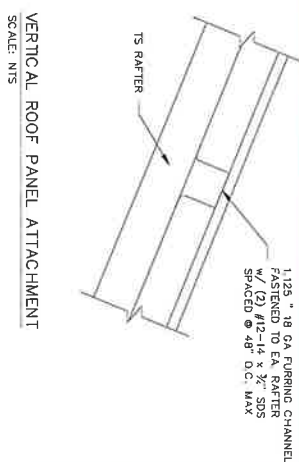
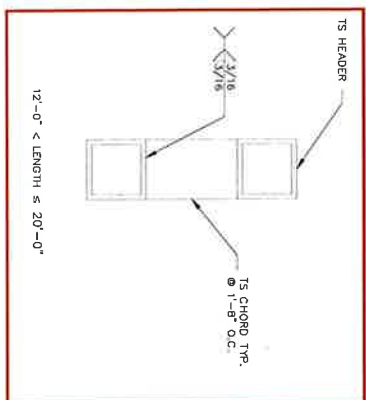
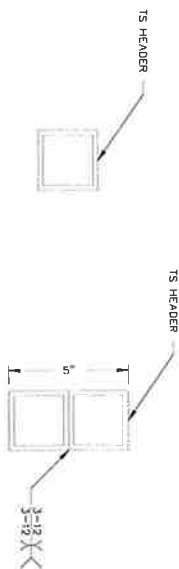


NOTES:

SIDEWALL COVER VARIES (SECURE TO FRAMING PER SIDING SPECS)
SPACING = 5'-0" FOR WIND SPEEDS BETWEEN 110 MPH AND 140 MPH
SPACING = 4'-0" FOR WIND SPEEDS BETWEEN 140 MPH AND 180 MPH
1 1/2" 18 GA HAT CHANNELS CAN BE USED IN LIEU OF TS FOR GIRTS

OPTIONAL GABLE END BOX EAVE FRAMING

OPTIONAL GABLE END BOW EAVE FRAMING
SCALE: NTS



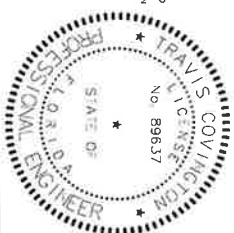
LENGTH $\leq 8'-0"$

 $8'-0" < \text{LENGTH} \leq 12'-0"$

12'-0" < LENGTH ≤ 20'-0"

OPTIONAL SIDE WALL HEADERS
SCALE: NTS

REVISIONS	
DATE	DESCRIPTION
07-22-2021	
COVINGTON ENGINEERING SERVICES	
272 NW COUNTRY LAKE DR., LAKE CITY, FL 32055	
813.770.9470	
TRAVIS@COVINGTONENG.COM	
PROJECT:	LOVE CARPORT
CLIENT:	MICHEL LOVE
LOCATION:	2 GARBER MALI CT, INGLIS, FL
JOB NO.:	E118
VERTICAL ROOF-SIDING OPTION	
SCALE:	SHEET NO.:
AS NOTED	S 9

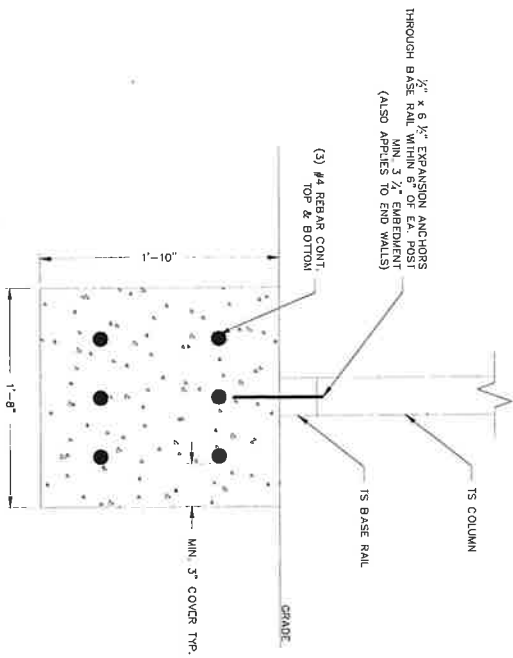


1. MINIMUM SOIL BEARING CAPACITY: 1500 PSF
2. CONCRETE STRENGTH: 3000 PSI @ 28 DAYS

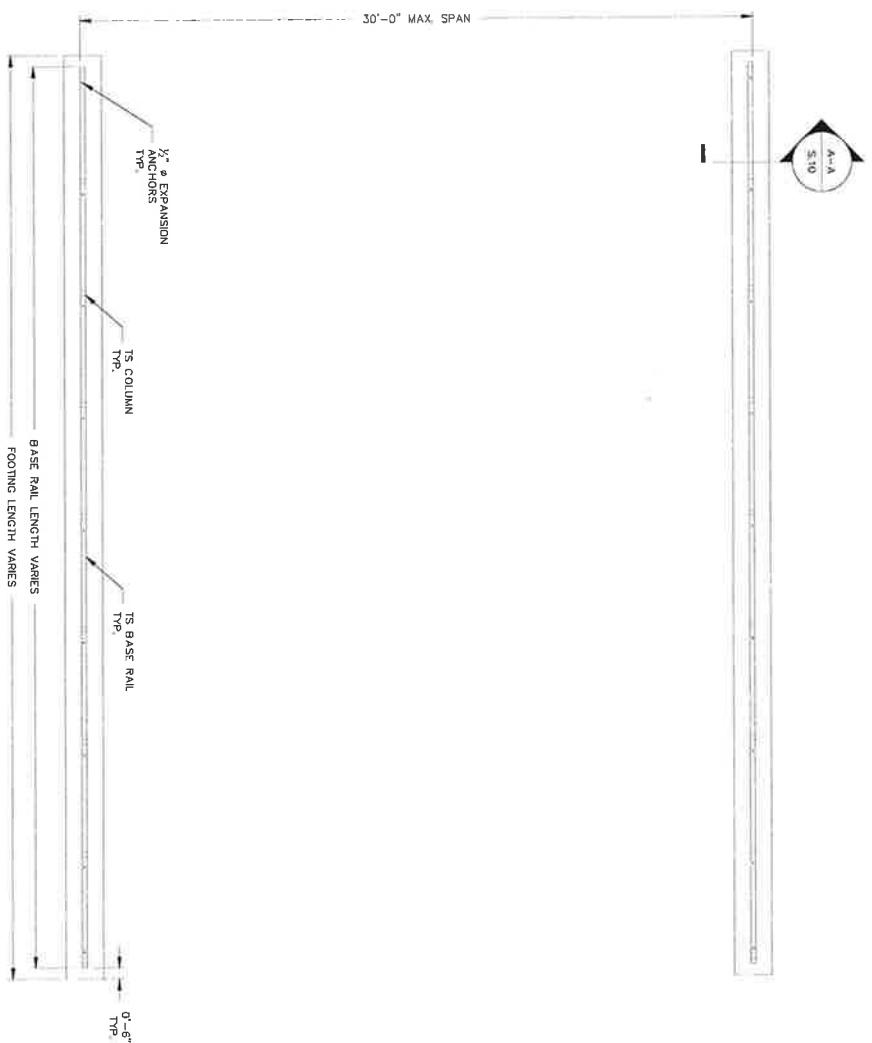
- ## REINFORCING STEEL NOTES

REINFORCING STEEL NOTES


1. REBAR SHALL BE ASTM A615 GRADE 60
2. SLAB REINFORCEMENT SHALL BE WELDED WIRE FABRIC PER ASTM A185 OR FIBERGLASS FIBER REINFORCEMENT
3. CONCRETE COVER SHALL BE 3" WHERE CONCRETE IS EXPOSED TO SOIL OR WATER, 2" EVERYWHERE ELSE
4. REBAR SHALL BE BENT WITHOUT HEATING: MINIMUM BEND LENGTH = 6 x BAR DIAMETER
5. REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT

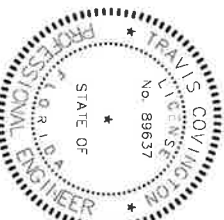


CONCRETE STRIP FOOTING DETAIL
SCALE: NTS

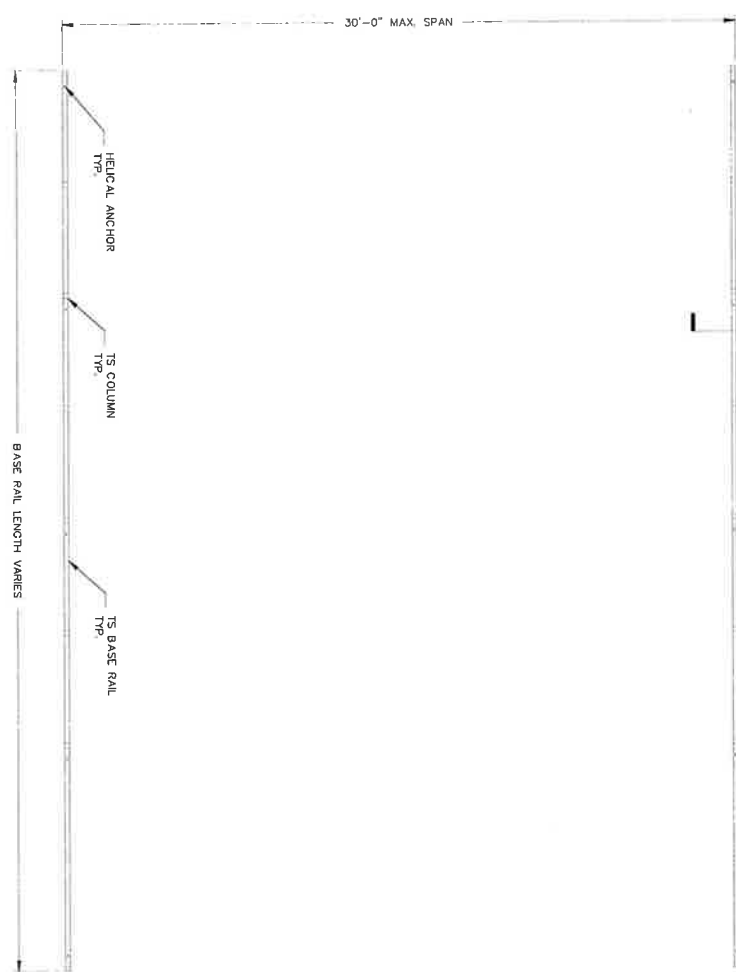


CONCRETE STRIP FOOTING PLAN
SCALE: NTS

REVISIONS			
NO.	DESCRIPTION	DATE	
COVINGTON ENGINEERING SERVICES			
2912 HUN COUNTRY LAKE DR, LAKE CITY, FL 32055			
TRANSPOCOVINGTONENG.COM			
PROJECT:	LOVE GARPORT		
CLIENT:	MICHEL, LOVE		
LOCATION:	2 GARDEN MALL CT, INDUS. FL		
JOB NO.:	E118		
OPTIONAL CONCRETE STRIP FOOTING DETAILS			
SCALE:	SHEET NO:		
AS NOTED	S-10		
			



-

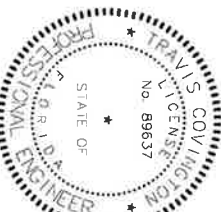


HELICAL ANCHORAGE PLAN
SCALE: NTS

THIS ITEM HAS BEEN DIGITALLY
SIGNED AND SEALED BY TRAVIS
COADINON, P.E. ON THE DATE
ADJUNCT TO THE SEA.

DOCUMENT ARE NOT CONSIDERED
SIGNED AND SEALED AND THE
SIGNATURE MUST BE WRITTEN ON
ANY ELECTRONIC CO-AS.

TRAVIS COADINON
LICENSE
No. 89637



352.447.2203 ext 101
Monday-Thursday 7:00am-5:30pm



From: Sandra Joseph <joseph@ncfrpc.org>
Sent: Tuesday, November 25, 2025 2:10 PM
To: Inglis Town Clerk <townclerk@townofinglis.org>; Carmelita Franco <Franco@ncfrpc.org>
Subject: Re: 2 GARDEN MALL

Cery,

Per our phone conversation, the approximately 2.7 acre subject property is classified Single Family Residential and Commercial on the Future Land Use Map and is zoned R-1 and C-1 on the Zoning Map.

There is currently a single family residential dwelling unit located on the portion of the site that is classified and zoned Residential.

The owner would like to erect a carport on the site.

A carport is an accessory structure and can be erected on the portion of the property that is classified and zoned Residential.

The owner would only need to submit the plans to the Building Official in order to obtain a building permit.

However, if the property owner would like to place the carport on the portion of the site that is classified and zoned Commercial, then they will first need to request an amendment to the Future Land Use Map and Zoning Map to change that portion of the site to Single Family Residential and R-1 prior to submitting the plans to the Building Official.

Sandra Joseph
Senior Planner
North Central Florida Regional Planning Council
2009 NW 67th Place, Suite A
352.955.2200 x 111
Fax 352.955.2209

From: Inglis Town Clerk <townclerk@townofinglis.org>
Sent: Tuesday, November 25, 2025 10:04 AM
To: Sandra Joseph <joseph@ncfrpc.org>; Carmelita Franco <Franco@ncfrpc.org>
Subject: 2 GARDEN MALL

Hello, this property is zoned Residential and Commercial.

They want to put a metal building on a section of the property.

They are meeting with Sue Sims(Chair of Planning), Code enforcement officer and Commissioner in the morning, and we are not sure of what direction to give to them!

I have attached the file that I received.

Thank you for any assistance.

Best Regards,

Cery Logeman

Town Clerk

Town of Inglis

townclerk@townofinglis.org

352.447.2203 ext 101

Monday-Thursday 7:00am-5:30pm



Inglis Town Clerk

From: Sandra Joseph <joseph@ncfrpc.org>
Sent: Tuesday, November 25, 2025 4:47 PM
To: Inglis Town Clerk
Subject: Re: 2 GARDEN MALL
Attachments: Town of Inglis Amendment Review Process.docx

Please be advised, each zoning district has a list of uses permitted by right and a list of uses permitted by special exception.

In the R-1 zoning district, the uses permitted by right can be found in **Section 34-235 of the Land Development Code**. Single family residential dwellings are a use permitted by right, and a carport is an accessory to a single family dwelling.

In the C-1 zoning district, the uses permitted by right can be found in **Section 34-240 of Land Development Code**. Carports are not listed as a use permitted by right in the C-1 zoning district (because they are an accessory use to residential dwellings).

Therefore, on the portion of the subject property classified and zoned commercial only commercial uses can be placed there. However, since the property owner does not intend to operate a commercial use on the site but instead would like to erect a carport, a Future Land Use Map and Zoning Map amendment will be need in order to change the eastern portion of the subject site to Single Family Residential & R-1.

The map amendment process can be found in the attached document.

Sandra Joseph
Senior Planner
North Central Florida Regional Planning Council
2009 NW 67th Place, Suite A
352.955.2200 x 111
Fax 352.955.2209

From: Inglis Town Clerk <townclerk@townofinglis.org>
Sent: Tuesday, November 25, 2025 3:29 PM
To: Sandra Joseph <joseph@ncfrpc.org>
Subject: RE: 2 GARDEN MALL

Hello, another question on 2 Garden mall!
If they do not want to rezone the Commercial to Residential and they want to build the carport on the Commercial property, can they do that without going before NCRP or the Planning Commission?

Best Regards,
Cery Logeman
Town Clerk
Town of Inglis
townclerk@townofinglis.org

Town of Inglis Amendment Review Process

STEP 1: Application Submittal

Applicants must submit completed applications, signed, dated, with all required forms and attachments.

STEP 2: Sufficiency Determination and Review

Staff completes review and sufficiency determination of all applications

STEP 3: Process by Amendment Application Type

The process for each type of amendment application is summarized below.

Future Land Use Map Amendment Application (50 acres or less) - Small Scale

To change the future land use classification of a parcel of land, a request for an amendment to the Future Land Use Map is required. The Future Land Use Map amendment of a parcel that is 50 acres or less is a small scale map amendment. At an advertised public hearing, the Planning Commission makes a recommendation to the Town Commission regarding the request. At a regular or special meeting, the Town Commission has a first reading of an ordinance. At an advertised public hearing and second reading of an ordinance, the Town Commission makes a final decision to approve or deny the request.

Future Land Use Map Amendment Application (greater than 50 acres) - Large Scale

To change the future land use classification of a parcel of land, a request for an amendment to the Future Land Use Map is required. The Future Land Use Map amendment of a parcel that is greater than 50 acres is a large scale map amendment. At an advertised public hearing, the Planning Commission makes a recommendation to the Town Commission regarding the request. The Town Commission holds two advertised public hearings regarding the large scale amendment. At the first advertised public hearing and first reading of an ordinance, the Town Commission makes the decision to either approve or deny the transmittal of the large scale map amendment to the State Land Planning Agency. If transmitted, the State Land Planning Agency has 30 days to issue its comment letter to the Town. Within 180 days of receiving the State comment letter, the Town Commission is required to hold the second advertised public hearing and second reading of an ordinance, and make a final decision to approve or deny the request.

Comprehensive Plan Text Amendment Application

To change the text of the Comprehensive Plan, an amendment to the Comprehensive Plan is required. Text amendments to the Comprehensive Plan are considered to be large scale amendments because they must be reviewed by the State Land Planning Agency. At an advertised public hearing, the Planning Commission makes a recommendation to the Town Commission regarding the text amendment. The Town Commission holds two advertised public hearings regarding the text amendment. At the first advertised public hearing and first reading of an ordinance, the Town Commission makes the decision to either approve or deny the transmittal of the text amendment to the State Land Planning Agency. If transmitted, the State Land Planning Agency has 30 days to issue its comment letter to the Town. Within 180 days of receiving the State comment letter, the Town Commission is required to hold the second advertised public hearing and second reading of an ordinance, and make a final decision to approve or deny the text amendment.

Official Zoning Map Amendment Application

To change the zoning of a parcel of land, a request for an amendment to the Official Zoning Map is required. At an advertised public hearing, the Planning Commission makes a recommendation to the Town Commission regarding the request. At a regular or special meeting, the Town Commission has a first reading of an ordinance. At an advertised public hearing and second reading of an ordinance, the Town Commission makes a final decision to approve or deny the request.

Land Development Regulations Text Amendment Application

To change the text of the Land Development Regulations, an amendment to the Land Development Regulations is required. At an advertised public hearing, the Planning Commission makes a recommendation to the Town Commission regarding the text amendment. At a regular or special meeting, the Town Commission has a first reading of an ordinance. At an advertised public hearing and second reading of an ordinance, the Town Commission makes a final decision to approve or deny the text amendment. However, if the text amendment involves the use of land, the Town Commission holds two advertised public hearings and two readings of an ordinance, and makes a final decision to approve or deny the text amendment.

You likely cannot put a carport on a vacant commercial property in Inglis, FL because the [Inglis Zoning Ordinance](#) classifies carports as structures that are not permitted as "accessory buildings" on a commercial property. Additionally, any exterior construction project, including a carport, would require permits and must adhere to local zoning and building codes for safety, height, and setback requirements.

Zoning restrictions

- According to the [Inglis, FL Zoning Ordinance](#), carports are not included in the definition of "detached utility or storage sheds," which are the only types of accessory buildings permitted in some commercial areas.
- This means that a carport is specifically prohibited by the local ordinance in these zones.

Permit requirements

- Even if zoning allowed it, you would need building and zoning permits before constructing a carport on a commercial property.
- Permits are required for exterior construction projects like carports to ensure they meet safety, height, and setback requirements.
- Building without the proper permits can lead to fines, stop-work orders, or the requirement to remove the structure.

How to proceed

- **Review the Inglis Zoning Ordinance:** Check the specific zoning for the vacant commercial property to see what types of structures are allowed.
- **Contact the Inglis Building Department:** Before starting any construction, contact the local building department to confirm the specific permit requirements for carports on commercial property and to ask if any exemptions exist.
- **Submit a permit application:** If you are able to apply for a permit, you must submit detailed site plans showing the carport's location, dimensions, and its distance from property lines and other structures.

VARIANCE

Yes, you may be able to get a variance for a carport on a vacant commercial property in Inglis, FL, but you must apply to the local zoning board and demonstrate a unique hardship that the strict application of zoning codes would create. You will need to

submit a formal application, explain why the hardship exists (e.g., unusual lot shape or topography), and the request will likely go before a public hearing where it will be reviewed against local ordinances.

How to apply for a variance

- **Contact the local planning department:** Begin by contacting the town or county planning department to understand the specific requirements, procedures, and fees for applying for a variance.
- **Submit a variance application:** A formal application will need to be submitted, which should detail the specific variance you need and provide justification for it.
- **Demonstrate a hardship:** The key to a variance is showing that the standard zoning code would cause an "unnecessary and undue hardship" due to the physical characteristics of the property, not just an inconvenience or a financial difficulty.
- **Provide supporting documentation:** You will need to provide clear and detailed information to support your application, such as a survey, and potentially other data depending on the request.
- **Attend a public hearing:** Be prepared to attend a public hearing where you can present your case to the local zoning board or planning commission, and community input will be considered.
- **Meet all building codes:** Even if a variance is granted for zoning, any structure must still comply with all Florida Building Codes, which includes obtaining the necessary permits and inspections, as detailed in [this Florida Building Code document](#), [this Charlotte County, FL document](#), and [this West Melbourne, FL document](#).

Important considerations

- **Hardship vs. inconvenience:** Simply wanting more space or a different layout is not typically considered a sufficient hardship. The hardship must be related to the physical nature of the land itself.
- **Approval is not guaranteed:** Variance approval is never guaranteed, and it is crucial to be prepared for the process, including potential timelines and contingencies.

- **Negotiate with neighbors:** You may need to discuss your plans with neighboring property owners to address any concerns they may have, as their support can help with approval.
- **Seek professional help:** Consider consulting with a real estate attorney or land-use consultant who is familiar with Florida zoning laws and processes to help you navigate the application.